

248 UNLEY ROAD (3 OPEY AVE) HYDE PARK

CLIENT NAME	HYDE PARK PLACE PTY LTD	BUILDER	BERT FARINA CONSTRUCTION	STEEL FRAMED DWELLINGS CLASS 1 AND 10a STEEL TRUSS FIRST FLOOR & ROOFS CONCRETE SUSPENDE SLAB (REFER STAGE A DRAWINGS FOR DETAILS) SHAFTLINER PARTI WALL SYSTEM ENERGY EFFICIENCY REPORT BY STAR REATE SERVICES
PROJECT	OPEY TOWNHOUSES	ENGINEER	PT DESIGN	
REVISION	P8	CERTIFIER	KATNICH DODD	

GENERAL NOTES:
GEMMA LEA DESIGN STUDIO HEREBY TAKES NO RESPONSIBILITY FOR ANY STRUCTURAL DESIGN OR DETAILS IF CHANGES OR ALTERATIONS ARE MADE TO THE PLANS DURING OR PRIOR TO CONSTRUCTION WITHOUT WRITTEN NOTICE OR APPROVAL.

BUILDER TO REQUEST COUNCIL’S FULL DEVELOPMENT BUILDING APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK AND CONFIRM ALL DRAWINGS AND DETAILS PRIOR TO ORDERING ANY MATERIAL AND OR QUOTING OF PROJECT AND OR COMMENCEMENT OF ANY CONSTRUCTION. GEMMA LEA DESIGN STUDIO DO NOT ACCEPT ANY RESPONSIBILITY FOR ERRORS AND OR OMISSIONS.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS PRIOR TO ANY WORK ON SITE IS CONDUCTED.

DO NOT SCALE OFF THE PLANS, FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

ALL SANITARY, PLUMBING, DRAINAGE AND ELECTRICAL WORK TO BE CARRIED OUT BY FULLY QUALIFIED AND LICENSED TRADESPERSONS.

REFER TO ENGINEER’S DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC AND CIVIL DETAILS (IF APPLICABLE).

ALL LINTELS AS PER ENGINEER’S AND OR BUILDING SPECIFICATION DETAILS.

BOUNDARY/SURVEY/SETOUT:
ARCHITECTURALS BY GEMMA LEA DESIGN STUDIO IS INDICATIVE FOR BUILDING SET OUT PURPOSE ONLY. PRIOR TO ANY CONSTRUCTION REFER TO SURVEYOR DRAWINGS AND ENGINEERING CIVIL PLAN FOR SITE LEVELS, CONTOUR, BENCH MARKS, SERVICE LOCATIONS. BUILDER TO ORGANISE A CERTIFIED SURVEY PRIOR TO ANY CONSTRUCTION IS COMMENCED. BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLANS TO BE READ IN CONJUNCTION WITH THE INGERS AND SURVEYER’S DRAWINGS/DETAILS. BUILDER TO CONFIRM ENGINEER DRAWINGS ARE UPDATED.

TERMITE TREATMENT NOTE:
TERMITE PROTECTION SHALL COMPLY WITH AS3660.1-2014, PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3660.1-2014 STATING METHOD OF APPLICATION AND CERTIFICATE OF COMPLETION.

RAINWATER NOTE:
RWT COLLECTION, PLUMBED TO EITHER A TOILET, HOT WATER SYSTEM OR LAUNDRY COLD WATER OUTLETS, RWT MUST BE FITTED WITH OVERFLOW DEVICE. INLET AND OVERFLOW MUST BE FITTED WITH MOSQUITO-PROOF SCREENS, MUST COMPLY WITH BCA REQUIREMENTS.

STORMWATER NOTE:
REFER TO ENGINEER’S CIVIL PLAN FOR ALL LEVELS, RETAINING WALLS AND STORMWATER DRAINAGE PLAN.

WET AREA NOTE:
WET AREA CONSTRUCTION, WATERPROOFING AND TILING SHALL COMPLY WITH MINISTERS SPEC SA F1.7, AS3740, PART 3.8.1 AND SA 3 OF VOL 2.

PROVIDE OVERFLOW DEVICES TO ALL PLUMBING FIXTURES WHERE NOT PROVIDING FLOOR WASTE IN ACCORDANCE WITH SA F1.7

WALL MEMBRANES
PLIABLE BUILDING MEMBRANES TO COMPLY WITH AS4200 AND INSTALLED ON EXTERIOR SIDE OF PRIMARY INSULATION LAYER.

ENERGY SPECIFICATION:
REFER TO INDEPENDENT ENERGY EFFICIENCY REPORT FOR ALL INSULATION AND GLAZING REQUIREMENTS.

EXHAUST FANS SERVING A CONDITIONED SPACE OR A HABITABLE ROOM BE FITTED WITH SELF CLOSING DEVICE SUCH AS SELF CLOSING DAMPER.
ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE. WC AND LAUNDRY EXHAUST FANS TO BE CONNECTED TO WC LIGHT SWITCHES

REMOVABLE HINGE NOTE:
WC DOOR HAVING DEMOUNTABLE HINGES AN BE REMOVABLE FROM OUTSIDE THE WC. TO COMPLY WITH BCA PART 2 2.4.3 & 3.8.3.

TIMBER FRAMING:
ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 1684.2-2010 (RESIDENTIAL TIMBER FRAMED CONSTRUCTION) ALL EXPOSED TIMBER MEMBERS AND FIXINGS ARE TO BE ADEQUATELY TREATED WITH PRESERVATIVE IN ACCORDANCE WITH AS 1604.

ROOF NOTE:
ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, CAPPINGS AND OTHER ITEMS REQUIRED TO MAKE THE ROOF WATERTIGHT AND COMPLETE.

ELECTRICAL NOTE:
ALL ELECTRICAL WORK CARRIED OUT TO BE IN ACCORDANCE WITH AS 3000.

SMOKE ALARM SYSTEM TO COMPLY WITH AS3786 ALL TO BE INTERCONNECTED AND POWERED FROM THE CONSUMER MAINS WITH 9V BATTERY BACKUP. SMOKE DETECTION SYSTEM TO COMPLY WITH AS1670 AND THE BCA REQUIREMENTS.

WINDOW AND DOORS NOTE:
ALL GLAZING TO COMPLY WITH AS 1288-2006 ALL GLAZING IS TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS 1288.1

ALL CARE HAS BEEN TAKEN, BUT IT IS THE BUILDER’S RESPONSIBILITY TO CHECK AND VERIFY ALL WINDOWS AND DOOR DIMENSIONS PRIOR TO CONSTRUCTION AND ORDERS AS NO RESPONSIBILITY CAN BE ACCEPTED FOR ANY ERRORS OR OMISSIONS.

FIRST FLOOR OPENING – ALL BEDROOM WINDOW OPENINGS BELOW 1700mm AFL TO FIRST FLOOR BE RESTRICTED AND HAVE A MAXIMUM OPENING OF NOT MORE THAN 125mm.

PROVIDE OBSCURE GLAZING TO WET AREA WINDOWS – BATHROOM, ENSUITE, WC ETC.

SKYLIGHTS BETWEEN ROOF FRAMING RAFTERS/TRUSSES TO BE DETERMINED ON SITE, INSTALLED AS PER MANUF. RECOMMENDATIONS.

AC & PLUMBING STACK NOTE:
BUILDER TO CONFIRM LOCATIONS OF ALL AC DUCT VOIDS AND PLUMBING STACKS PRIOR TO ANY CONSTRUCTION COMMENCING.

STAIRS NOTE:
STAIRS TO BE CONSTRUCTION IN STRICT ACCORDANCE WITH THE BCA AT MAXIMUM 18 RISERS TO EACH FLIGHT. STAIRS TO HAVE A NON-FLIP FINISH OR SUITABLE NON-SKID STRIP.

BALUSTRADE TO COMPLY WITH BCA PART 3.9.2 WITH HEIGHT NO LESS THAN 900mm ABOVE STAIR TREAD NOSING AND NO LESS THAN 1000mm ABOVE FINISHED FLOOR OR BALCONY.



SHEET LIST		
NO.	SHEET NAME	REV
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SITE AREAS	
DESCRIPTION	AREA
TOWNHOUSE A	126 m ²
TOWNHOUSE B	123 m ²
TOWNHOUSE C	107 m ²
TOWNHOUSE D	108 m ²
TOWNHOUSE E	108 m ²
TOWNHOUSE F	108 m ²
TOWNHOUSE G	108 m ²
TOWNHOUSE H	110 m ²
	897 m ²

BUILDING AREAS	
TOWNHOUSE	AREA
DWELLING A	
FIRST FLOOR LIVING	72 m ²
GROUND FLOOR LIVING	50 m ²
GARAGE	37 m ²
BALCONY	8 m ²
	168 m ²
DWELLING B	
FIRST FLOOR LIVING	65 m ²
GROUND FLOOR LIVING	55 m ²
GARAGE	34 m ²
BALCONY	8 m ²
	163 m ²
DWELLING C	
FIRST FLOOR LIVING	68 m ²
GROUND FLOOR LIVING	52 m ²
GARAGE	20 m ²
BALCONY	10 m ²
	150 m ²
DWELLING D	
FIRST FLOOR LIVING	68 m ²
GROUND FLOOR LIVING	52 m ²
GARAGE	20 m ²
BALCONY	10 m ²
	150 m ²
DWELLING E	
FIRST FLOOR LIVING	68 m ²
GROUND FLOOR LIVING	52 m ²
GARAGE	20 m ²
BALCONY	10 m ²
	150 m ²
DWELLING F	
FIRST FLOOR LIVING	68 m ²
GROUND FLOOR LIVING	52 m ²
GARAGE	20 m ²
BALCONY	10 m ²
	150 m ²
DWELLING G	
FIRST FLOOR LIVING	68 m ²
GROUND FLOOR LIVING	52 m ²
GARAGE	20 m ²
BALCONY	10 m ²
	150 m ²
DWELLING H	
FIRST FLOOR LIVING	69 m ²
GROUND FLOOR LIVING	53 m ²
GARAGE	20 m ²
BALCONY	10 m ²
	152 m ²

WINDOW SCHEDULE				
KEY	WINDOW STYLE	CONSTRUCTION	H X W	#
Townhouse 2A				
SL	Velux fixed skylight 665x665	Refer installation guide	665 x 665	2
W.02	Aluminium framed glass awning	Black satin frames, clear glass	2400 X 600	4
W.04	Aluminium framed glass awning	Black satin frames, clear glass	600 X 2100	1
Townhouse 2B				
SL	Velux fixed skylight 665x665	Refer installation guide	665 x 665	1
W.02	Aluminium framed glass awning	Black framed, clear glass	2400 X 600	6
W.05	Aluminium framed glass awning	Black framed, clear glass	2100 X 600	2
W.06	Aluminium framed glass awning	Black framed, clear glass	600 X 1200	1
Townhouse 2C				
SL	Velux fixed skylight 665x66	Refer installation guide	665 x 665	2
W.01	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 1200	1
W.02	Aluminium framed glass awning	Black satin frames, clear glass	2400 x 600	2
W.03	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 450	1

Townhouse 2D				
SL	Velux fixed skylight 665x66	Refer installation guide	665 x 665	2
W.01	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 1200	1
W.02	Aluminium framed glass awning	Black satin frames, clear glass	2400 x 600	2
W.03	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 450	1

Townhouse 2E				
SL	Velux fixed skylight 665x66	Refer installation guide	665 x 665	2
W.01	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 1200	1
W.02	Aluminium framed glass awning	Black satin frames, clear glass	2400 x 600	2
W.03	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 450	1

Townhouse 2F				
SL	Velux fixed skylight 665x66	Refer installation guide	665 x 665	2
W.01	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 1200	1
W.02	Aluminium framed glass awning	Black satin frames, clear glass	2400 x 600	2
W.03	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 450	1

Townhouse 2G				
SL	Velux fixed skylight 665x66	Refer installation guide	665 x 665	2
W.01	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 1200	1
W.02	Aluminium framed glass awning	Black satin frames, clear glass	2400 x 600	2
W.03	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 450	1

Townhouse 2H				
SL	Velux fixed skylight 665x665	Refer installation guide	665 X 665	2
W.01	Aluminium framed glass fixed	Black satin frames, clear glass	2400 x 1200	1
W.02	Aluminium framed glass awning	Black satin frames, clear glass	2400 x 600	2
W.03	Aluminium framed glass fixed	Black satin frames, clear glass	2400 X 450	1

DOOR SCHEDULE			
KEY	DOOR TYPE	FINISH	H X W
Townhouse 2A			
D.01	Flush timber solidcore feature entry door to selection	Satin white enamel	2340 x 820
D.02	Flush timber hollowcore door	Satin white enamel	2340 x 820
D.03	Flush timber hollowcore door	Satin white enamel	2340 x 720
D.05	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2700 x 1800
D.06	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2400 x 2400
D.09	Panel Lift Auto Garage Door	Selected Colorbond colour	2400 x 5000

Townhouse 2B			
D.01	Flush timber solidcore feature entry door to selection	Satin white enamel	2340 x 820
D.02	Flush timber hollowcore door	Satin white enamel	2340 x 820
D.03	Flush timber hollowcore door	Satin white enamel	2340 x 720
D.03a	Flush timber hollowcore door in cavity unit	Satin white enamel	2340 x 720
D.04	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2700 x 1600
D.07	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2400 x 3200
D.09	Panel Lift Auto Garage Door	Selected Colorbond colour	2400 x 5000

Townhouse 2C			
D.01	Flush timber solidcore feature entry door to selection	Satin white enamel	2340 x 820
D.02	Flush timber hollowcore door	Satin white enamel	2340 x 820
D.03	Flush timber hollowcore door	Satin white enamel	2340 x 720
D.07	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2400 x 3200
D.08	Panel Lift Auto Garage Door	Selected Colorbond colour	2400 x 2400

Townhouse 2D			
D.01	Flush timber solidcore feature entry door to selection	Satin white enamel	2340 x 820
D.02	Flush timber hollowcore door	Satin white enamel	2340 x 820
D.03	Flush timber hollowcore door	Satin white enamel	2340 x 720
D.07	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2400 x 3200
D.08	Panel Lift Auto Garage Door	Selected Colorbond colour	2400 x 2400

Townhouse 2E			
D.01	Flush timber solidcore feature entry door to selection	Satin white enamel	2340 x 820
D.02	Flush timber hollowcore door	Satin white enamel	2340 x 820
D.03	Flush timber hollowcore door	Satin white enamel	2340 x 720
D.07	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2400 x 3200
D.08	Panel Lift Auto Garage Door	Selected Colorbond colour	2400 x 2400

Townhouse 2F			
D.01	Flush timber solidcore feature entry door to selection	Satin white enamel	2340 x 820
D.02	Flush timber hollowcore door	Satin white enamel	2340 x 820
D.03	Flush timber hollowcore door	Satin white enamel	2340 x 720
D.07	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2400 x 3200
D.08	Panel Lift Auto Garage Door	Selected Colorbond colour	2400 x 2400

Townhouse 2G			
D.01	Flush timber solidcore feature entry door to selection	Satin white enamel	2340 x 820
D.02	Flush timber hollowcore door	Satin white enamel	2340 x 820
D.03	Flush timber hollowcore door	Satin white enamel	2340 x 720
D.07	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2400 x 3200
D.08	Panel Lift Auto Garage Door	Selected Colorbond colour	2400 x 2400

Townhouse 2H			
D.01	Flush timber solidcore feature entry door to selection	Satin white enamel	2340 x 820
D.02	Flush timber hollowcore door	Satin white enamel	2340 x 820
D.03	Flush timber hollowcore door	Satin white enamel	2340 x 720
D.07	Aluminium framed glass – 1 sliding panel	Black framed, clear glass	2400 x 3200
D.08	Panel Lift Auto Garage Door	Selected Colorbond colour	2400 x 2400

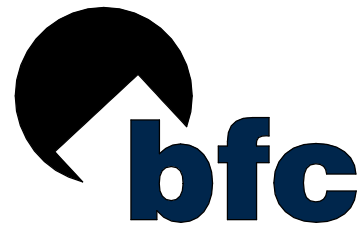
REVISIONS		
ISSUE #	DATE	DESCRIPTION
P8	15.04.2021	DRAWINGS FOR BRC

AUTHOR
GB

REVISION DESCRIPTION
DRAWINGS FOR BRC

CLIENT
HYDE PARK PLACE PTY LTD

CITIFY



PROJECT ADDRESS
248 UNLEY ROAD (3 OPEY AVE) HYDE PARK
HYDE PARK PLACE TOWNHOUSES – P0.B

NOT FOR CONSTRUCTION

SHEET TITLE
COVER SHEET

REVISION
P8

ISSUE DATE
15.04.2021

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WD.B.000

REVISIONS

ISSUE #	DATE	DESCRIPTION
P6	06/07/2020	VARIAION TO TOWNHOUSE 2a LAYOUT
P8	15.04.2021	DRAWINGS FOR BRC

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REVISION DESCRIPTION

DRAWINGS FOR BRC

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SHEET TITLE

GROUND FLOOR

REVISION

P8

ISSUE DATE

15.04.2021

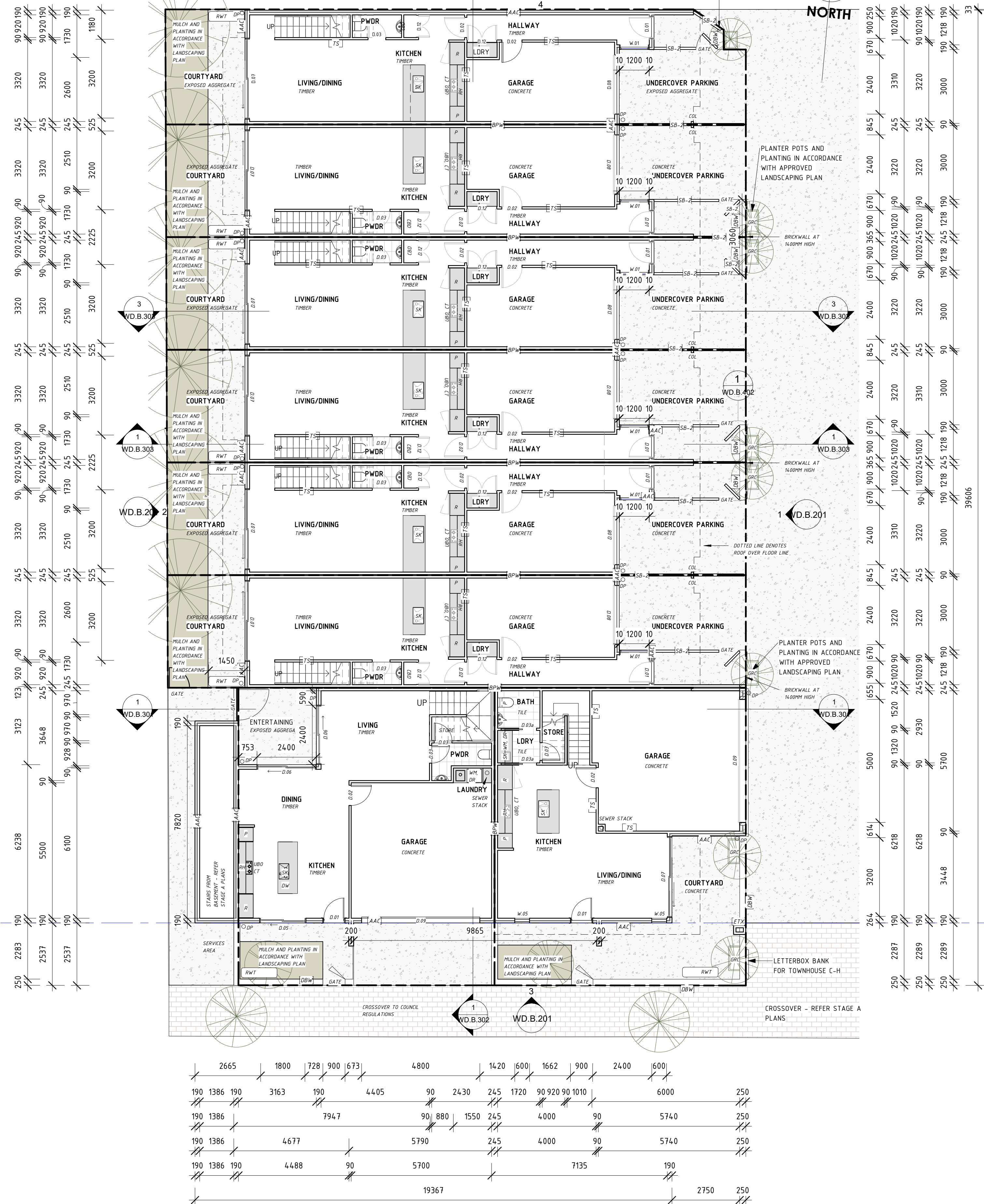
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WD.B.102

1
PL.03

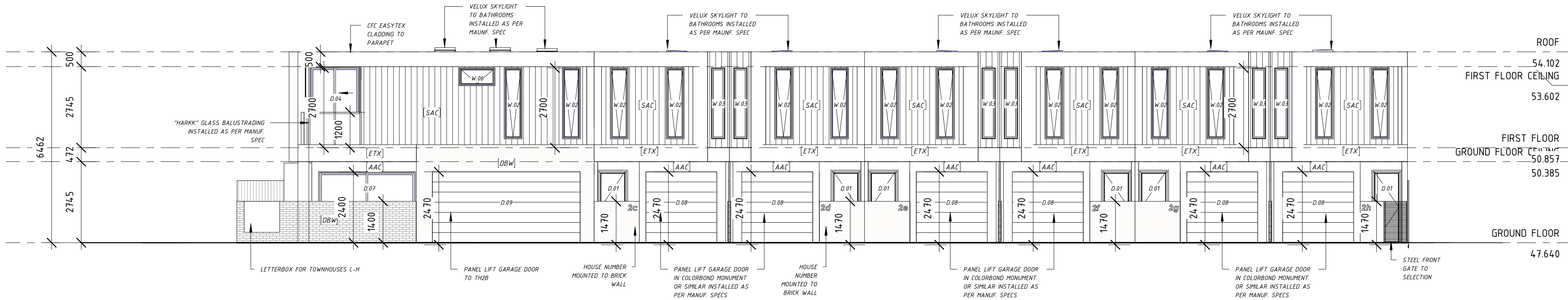
SITE/GROUND FLOOR PLAN

1 : 100



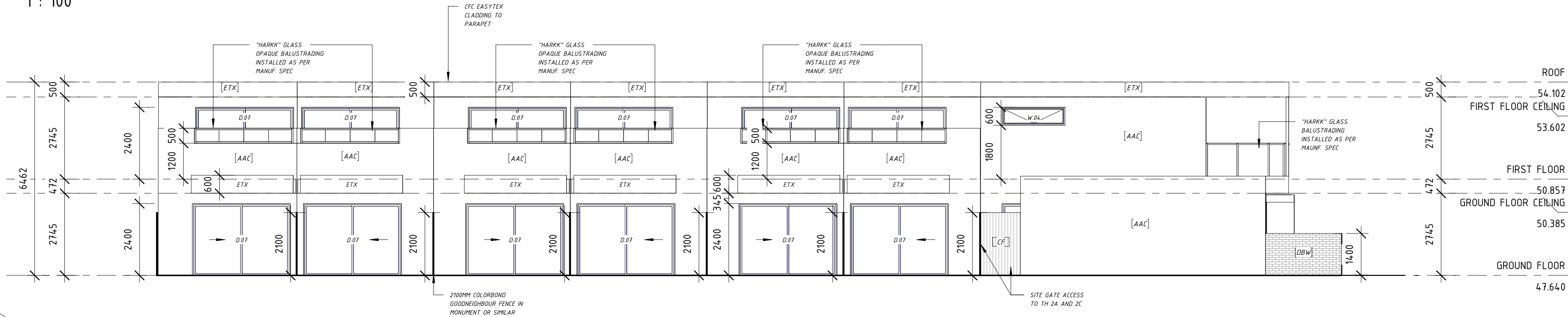
WALL SCHEDULE			
KEY	CONSTRUCTION	FRL	INSULATION
AAC	Hebel - Rendered (3 coat) Acratex system, Hebel Powerpanel wall on 25mm top hats with foil backed sisilation fixed to 90mm studs)	60/60/60	
BPW	Boral partiwall system (PW60.1a) 25mm Shaftliner with 20mm cavity both sides, 90mm studs to framing layout details, flushed and painted 10mm plasterboard internally	60/60/60	R2.0 Glasswool insulation batts to both stud wall cavities. Refer Energy Efficiency Report.
CF			
DBW	Two layers of selected facebrick with minimal cavity to engineers details	NA	NA
ETX	EasyTex panel with hardwrap weather barrier or similar fixed directly back to steel frame with hardbreak thermal strip or similar	NA	NA
SAC	Scyon Axon CFC cladding installed to manuf. specs, painted to selection, on Hardbreak thermal strip fixed to 90mm studs install Hardwrap weather barrier (or equivalent) to 90mm studs. Flushed and painted 10mm plasterboard internally		R2.5 glasswool insulation batts within 90mm studs with foil back sisilation. Refer Energy Efficiency Report.
TS	Internal 90mm timber stud wall, 10mm plasterboard flushed and painted to selection.	NA	Minimum R1.5 insulation batts to internal walls. Refer Energy Efficiency Report.

WALL SCHEDULE			
KEY	CONSTRUCTION	FRL	INSULATION
AAC	Hebel - Rendered (3 coat Acratex system, Hebel Powerpanel wall on 25mm top hats with foil backed sisilation fixed to 90mm studs)	60/60/60	
BPW	Boral partwall system (PWT60.1a) 25mm Shaffliner with 20mm cavity both sides, 90mm studs to framing layout details, flushed and painted 10mm plasterboard internally.	60/60/60	R2.0 Glasswool insulation batts to both stud wall cavities. Refer Energy Efficiency Report.
CF	Two layers of selected facebrick with minimal cavity to engineers details.	NA	NA
DBW	EasyTex panel with hardwrap weather barrier or similar fixed directly back to steel frame with hardbreak thermal strip or similar	NA	NA
ETX	EasyTex panel with hardwrap weather barrier or similar fixed directly back to steel frame with hardbreak thermal strip or similar	NA	NA
SAC	Scyon Axon CFC cladding installed to manuf. specs, painted to selection, on Hardbreak thermal strip fixed to 90mm studs install Hardwrap weather barrier (or equivalent) to 90mm studs. Flushed and painted 10mm plasterboard internally.		R2.5 glasswool insulation batts within 90mm studs with foil back sisilation. Refer Energy Efficiency Report.
TS	Internal 90mm timber stud wall, 10mm plasterboard flushed and painted to selection.	NA	Minimum R15 insulation batts to internal walls. Refer Energy Efficiency Report.



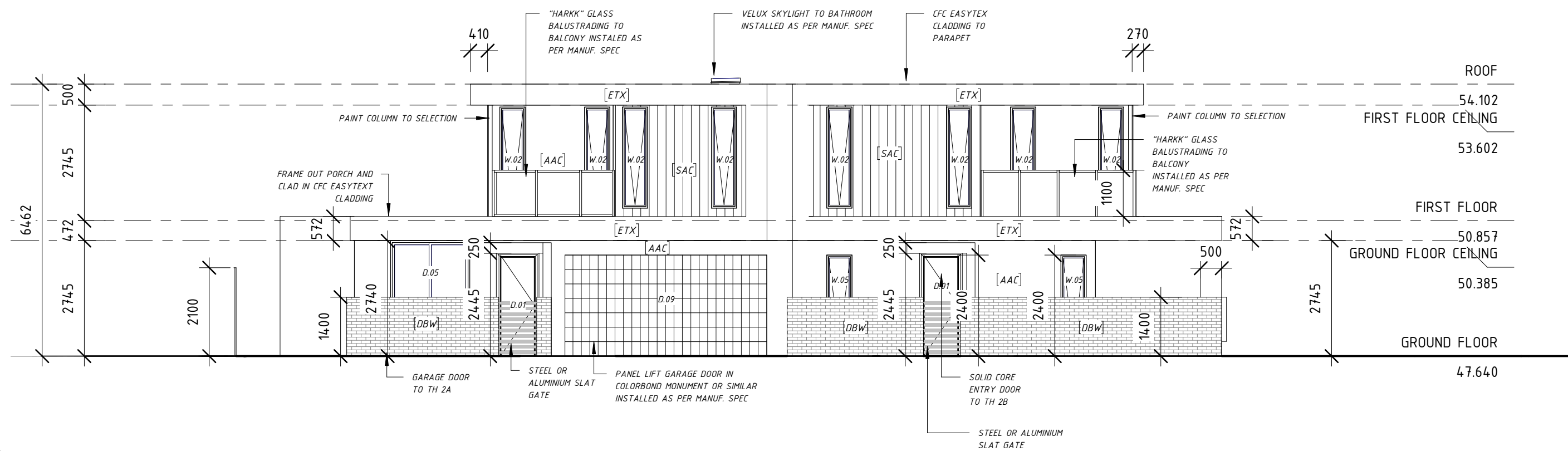
EAST ELEVATION

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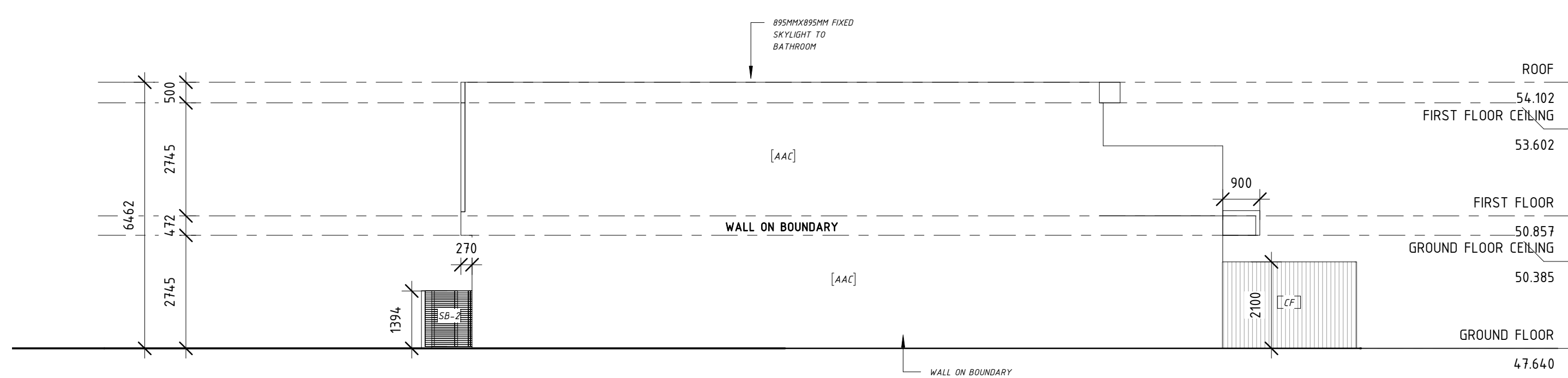
WEST ELEVATION

1 : 100



SOUTH ELEVATION

1 : 100



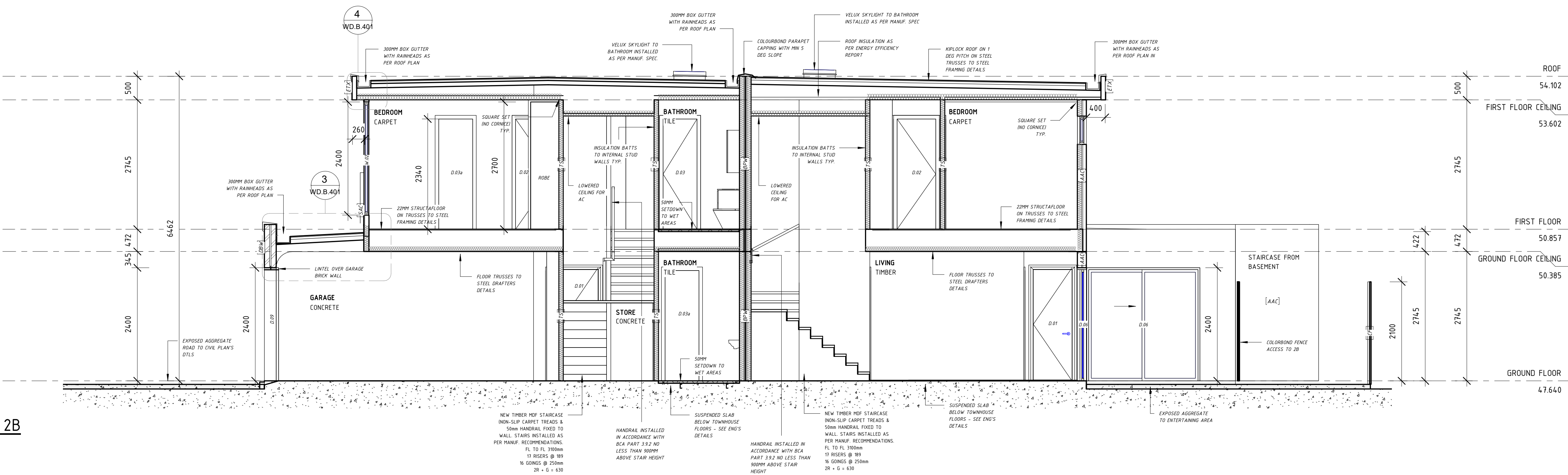
NORTH ELEVATION

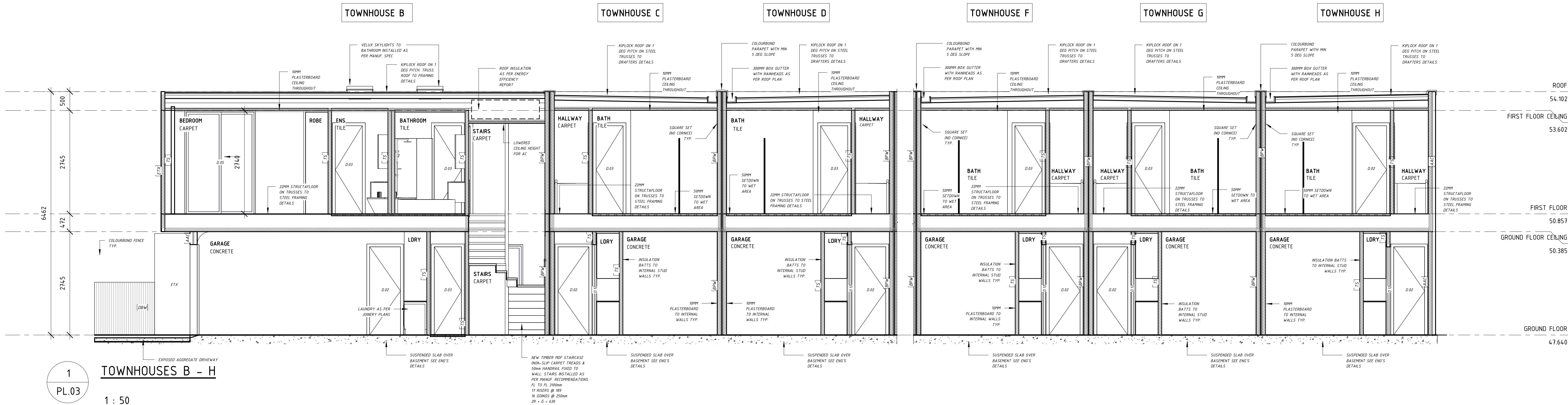
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PL.03

TOWNHOUSE 2A & 2B
1 : 50





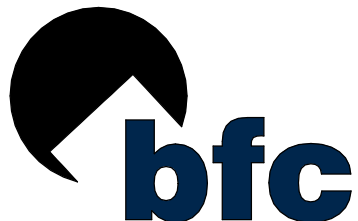
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HYDE PARK PLACE TOWNHOUSES - PD.B

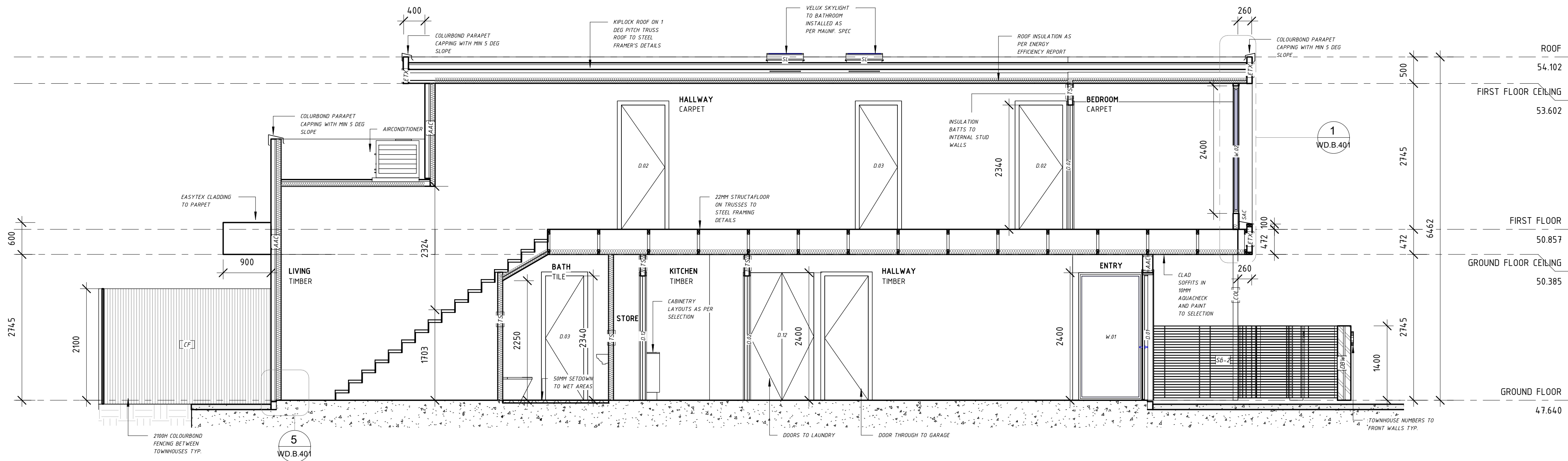
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SHEET TITLE
SECTIONS 02

REVISION
P8

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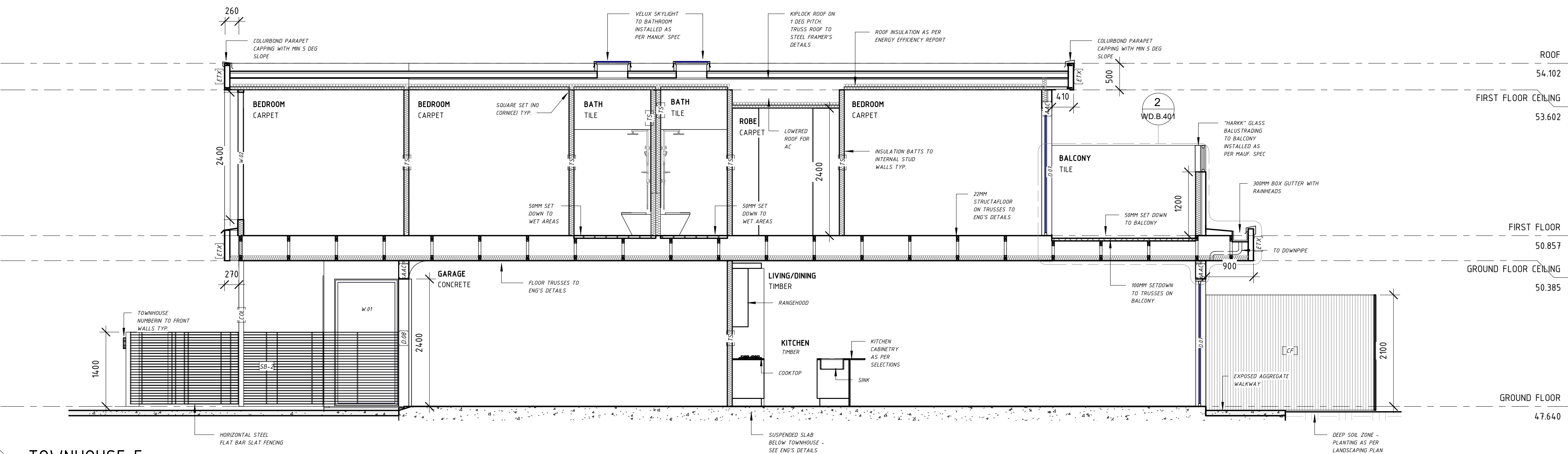
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1
PL.03

TOWNHOUSE E

1 : 50

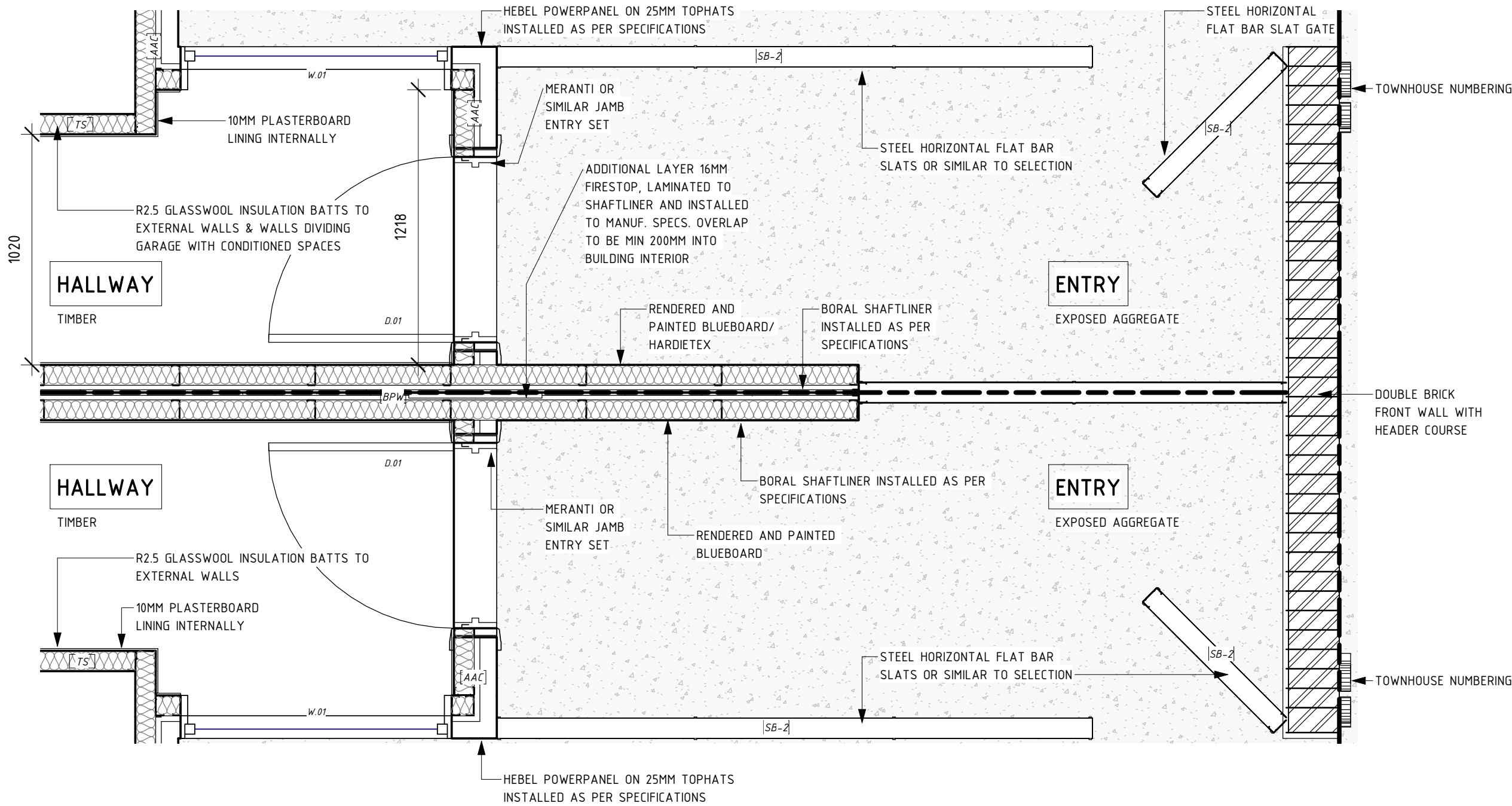


3
PL.03

TOWNHOUSE F

1 : 50

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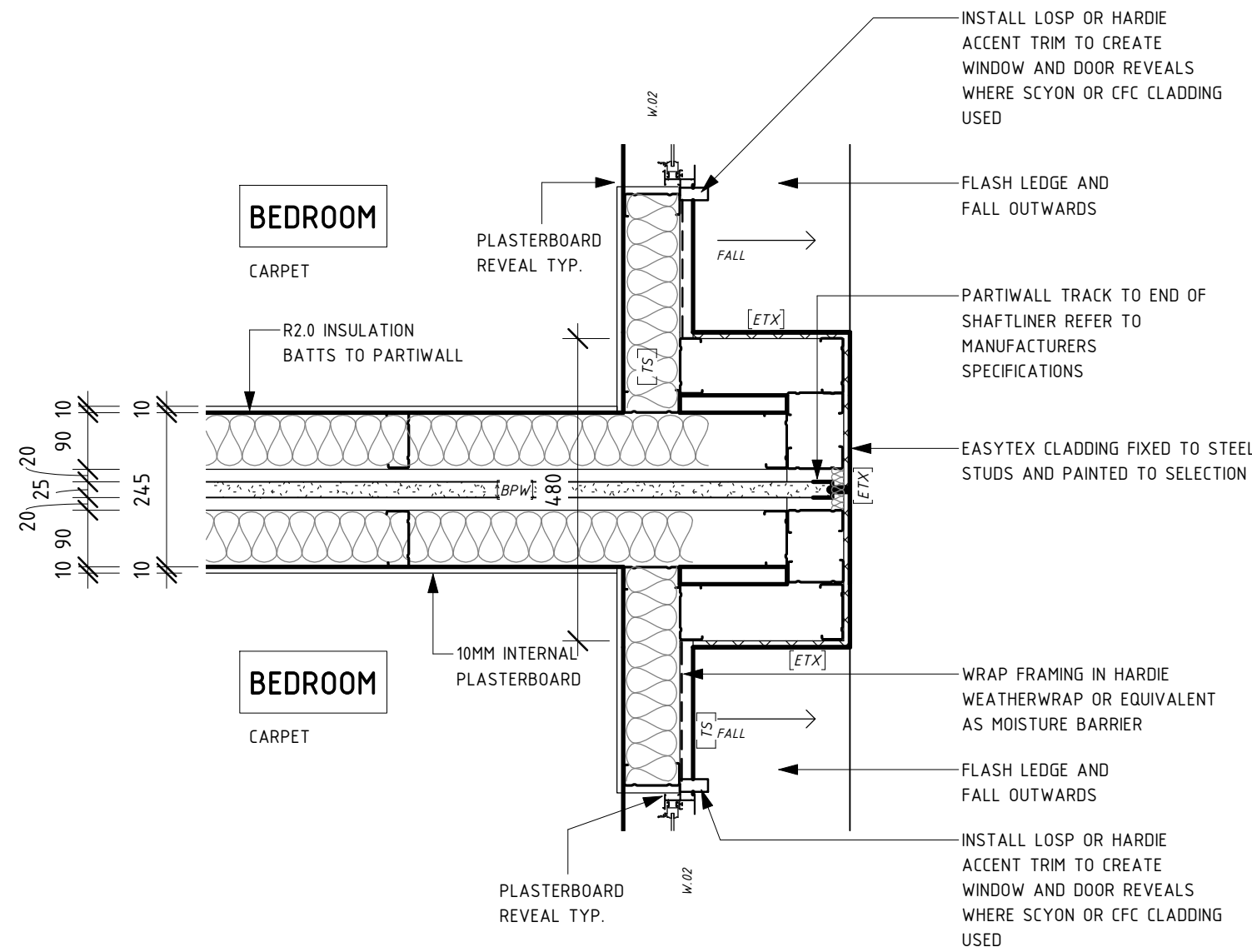


1

WD.B.102

ENTRYWAY PLAN DETAIL

1 : 20



2

WD.B.103

FIRST FLOOR PARTY WALL
DETAIL

1 : 10

REVISIONS		
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P8	15.04.2021	DRAWINGS FOR BRC